

# IMPORTANT INFORMATION

- Decks 0.6m (2.0ft) in height require a non-climbable handrail.
- Structural and foundation requirements vary depending on the size and height of the desk. We recommend confirming your deck design with Superior Safety Codes at 780-489-4777 prior to applying for permits and purchasing materials.
- Decks cannot be built over a utility right-of-way or blocking access to a gas, power, or water meter.
- Decks must be a minimum of 1.5m (4.9ft) from any accessory building (ie. garage or shed).
- Work with an Alberta Land Surveyor to locate your actual property lines. An existing fence, sidewalk or lane cannot be used to determine your property lines.
- Decks and patios must be designed so that they do not effect drainage onto adjacent properties.



## REMINDER

For your safety, we strongly encourage that you have your utilities located for free by contacting Utility Safety Partners (Alberta One-Call) at 1-800-242-3447 before digging.

# WHY ARE PERMITS REQUIRED?

Permits are here for your protection. Having the proper permits will ensure what is being built is safe and that the appearance and use is consistent with the context of your neighbourhood.

## QUESTIONS?

More information is available on our website at [www.westlock.ca/p/decks-and-patios](http://www.westlock.ca/p/decks-and-patios).

Planning & Development staff can also assist you with any questions you may have:



**Call**  
780-349-4444



**Email**  
planning@westlock.ca



**In-Person**  
10003-106 Street, Westlock, AB  
*\*Appointment recommended*

**Note:** This brochure is a general guide only. Additional information may be required.

*When you apply, personal information may be collected under the authority of the Alberta Freedom of Information and Protection of Privacy Act, the Municipal Government Act, or the Safety Codes Act. This information will be used to process your application(s) and your name and address may be included on reports available to the public. If you have any questions, please contact our office.*



## FREQUENTLY ASKED QUESTIONS

## DO I NEED A PERMIT?

You will need a Development and Building Permit if:

- Your deck will be 0.6m (2.0ft) or higher above grade at any point; OR
- Your deck is covered in any way (ex. sundeck, gazebo, etc.)

If your deck is below 0.6m (2.0ft) in height, no permits are required.

## HOW LARGE OF A DECK CAN I BUILD?

The size of deck you build depends on the Land Use District in which your property is located. For most residential properties, an **uncovered** deck must be built to the following setbacks:

- A minimum of 4.5m (14.8ft) from your rear property line;
- A minimum of 4.8m (15.7ft) from your front property line; and
- Whichever is greater of: a minimum of 1.2m (3.9ft) OR no closer than the exterior wall of your home to your side property line.

If your deck is **covered**, it is considered an addition to your home, and must follow the minimum setbacks required in your Land Use District.

As each lot is unique, our Planning & Development staff can help you determine the particular requirements for your property.

## WHY ARE PERMITS REQUIRED?

Permits are here for your protection. Having the proper permits will ensure what is being built is safe and that the appearance and use is constant with the context of your neighbourhood.

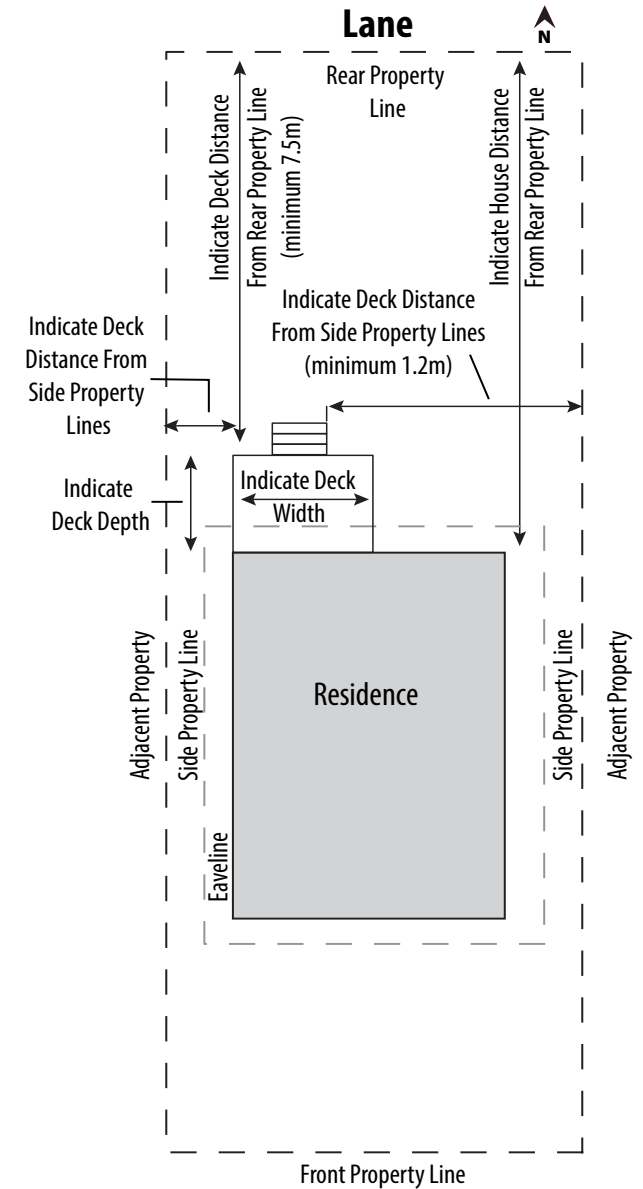
## HOW DO I APPLY?

To apply for permits for your deck, submit a complete application with the following:

- Completed Development and Building Permit application forms
- Complete Deck Details form
- Application fee
- Site plan (can be hand-drawn if legible) showing:
  - The proposed location and dimensions of the deck
  - Your property lines and any existing buildings on your property
  - The distance of the deck to your property lines and any existing buildings
- Elevation drawings (**covered decks only**) (can be hand-drawn if legible) showing:
  - The proposed height and structure of the covered deck

Application forms are available on the Town's website or at the Town Office.

Additional information may be requested upon review, depending on the nature of your application.



	Sample Deck Site Plan Address: 123 Four Street NW
	Date: March 1, 2021 Scale: $\frac{3}{16}'' = 1'$