

DWELLING, APARTMENT means a building containing three (3) or more dwelling units with shared exterior entrance facilities.

DWELLING, MANUFACTURED HOME means a prefabricated detached dwelling unit that meets, at a minimum, the Canadian Standards Association (CSA) Z240 standards and the requirements of the Alberta Building Code. A manufactured home is normally constructed off-site and then transported on its own heavy transport chassis, hitch, and wheels or by other means to its site. A manufactured home is not supported on a permanent foundation or base extending below ground. This applies to both single section and multi-section models, but does not apply to modular construction, recreational vehicles, or industrial camp trailers.

DWELLING, ROW-HOUSING MULTI-ATTACHED means a building that includes three (3) or more dwelling units which are ~~located one beside the other, with separated by~~ at least one common wall between each unit, and each unit having a separate exterior entrance. ~~The dwelling unit(s) may be located entirely on one lot, or each unit located on individual lots.~~

DWELLING, SEMI-DETACHED means a building containing two (2) dwelling units which are located either one above the other or one beside the other, in whole or in part, each having a separate entrance.

DWELLING, SINGLE-DETACHED means a building consisting of one (1) dwelling unit. This use does not include manufactured homes.

~~**DWELLING, STACKED ROW-HOUSING** means a building that includes three (3) or more dwelling units arranged two deep, either vertically so that dwelling units are placed over others or horizontally so that dwelling units are attached at the rear as well as at the side. Each dwelling unit shall have separate and individual access, not necessarily directly to grade, provided that no more than two dwelling units may share access to grade.~~



E

EASEMENT means a right to use land, generally for access to other property or a right-of-way for a public utility.

EATING AND DRINKING ESTABLISHMENT means a development where food or beverages are both prepared and offered for sale to the public for consumption by dining in or taking away. This use includes, but is not limited to, neighbourhood pubs, restaurants, cafes, delicatessens, tea rooms, lunch rooms, refreshment stands, outdoor cafes and patios, and take-out restaurants. This use does not include casinos.

ELEVATION means a drawing made in projection on a vertical plane to show a building face.

EMPLOYEES means the total number of persons reasonably anticipated to be employed in a building or on a parcel of land during normal periods of use.

ENTERTAINMENT ESTABLISHMENT, INDOOR means an indoor development providing recreational facilities in which the public participates in and/or views an activity for entertainment or social purposes. This use includes the sale of food and beverages to the patrons and may be licensed by the Province for the on-site consumption of alcohol. Indoor entertainment establishments include, but are not limited to movie theatres, billiard parlors, electronic arcades, bowling alleys, theatrical, musical or dance theatres, museums, and bingo halls. This use does not include gambling establishments.

ENTERTAINMENT ESTABLISHMENT, OUTDOOR means an outdoor development providing recreational facilities in which the public participates in and/or views an activity for entertainment or social purposes. This use includes the sale of food and beverages to the patrons and may be licensed by the Province for the on-site consumption of alcohol. Outdoor entertainment establishments include amusement parks, go-cart tracks, motorcross tracks, drive-in theatres, carnivals, animal or vegetation exhibits, and circuses.

EQUIPMENT RENTAL, SALES AND SERVICE means a development where tools, appliances, recreation craft, office machines, furniture, light construction equipment or similar items are rented, sold or serviced. This use does not include developments where motor vehicles, agricultural, or industrial equipment are rented or serviced.

ERECT means to build, construct, reconstruct, place, locate, or relocate.

ESTABLISHED NEIGHBOURHOOD means an existing neighbourhood that is considered fully built out and exhibits an identifiable residential character due to its age, historical context, design, existing buildings and architecture, or any other neighbourhood characteristics deemed significant by the Development Authority.



INFILL DEVELOPMENT means the development of new housing or other buildings on scattered, vacant sites in established neighbourhoods.

K

KENNEL means a development in which domestic pets are maintained, boarded, trained, cared for, bred, or raised for renumeration or for sale, generally for periods of greater than twenty-four (24) hours. This use may also include grooming, impounding/quarantining facilities, animal shelters, and retail sale of associated products.

KITCHEN FACILITIES means a facility for the storage and preparation of food. Kitchen facilities include, but are not limited to, cabinets, refrigerators, sinks, stoves, ovens, microwave ovens, or any other cooking appliances, and kitchen tables and chairs.

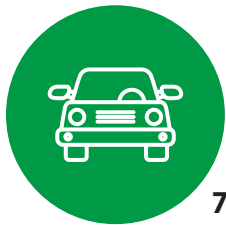
L

LANDSCAPE BUFFER means an area landscaped with sod and any other soft landscaping elements.

LANDSCAPING means the preservation or modification of the natural features of a site through the placement or addition of any or a combination of the following:

- a) Soft landscaping elements consisting of vegetation such as, but not limited to, trees, shrubs, plants, gardens, lawns, xeriscaping, and ornamental plantings;
- b) Hard landscaping elements such as bricks, pavers, shale, crushed rock, or other suitable materials, excluding monolithic concrete and asphalt, in the form of patios, walkways, and paths; and
- c) Architectural elements such as fences, walls, and sculptures.

LANE means a right-of-way on which motorized vehicles are normally allowed to operate or an alley as defined in the *Traffic Safety Act*, as amended.



7.3 ON-SITE PARKING REQUIREMENTS BY LAND USE

7.3.1 The minimum number of on-site parking spaces shall be as set out in [Tables 7.3a, 7.3b, 7.3c and 7.3d.](#)

| TABLE 7.3A Minimum Parking Requirements for Residential Uses | |
|--|--|
| USE CLASS | MINIMUM NUMBER OF PARKING SPACES |
| Assisted Living Facility | 1 space per 4 units. 1 guest space per every 5 units. |
| Assisted Living Facility, Limited | 1 space per 3 units. 1 space per staff member. |
| Bed and Breakfast | 1 space per guest room. 2 spaces for the principal dwelling. |
| Dwelling, Apartment Dwelling, Stacked Row Housing | 1 space per Bachelor unit. 1 space per 1 Bedroom unit. 2 spaces per 2 or more Bedroom units. 1 guest space per every 5 7 units. |
| Dwelling, Multi-Attached | 2 spaces per dwelling unit, if each unit is located on individual lots. 1.5 spaces per dwelling unit, if all units are located on a single lot. |
| Dwelling Single-Detached Dwelling, Semi-Detached Dwelling, Row Housing Dwelling, Manufactured Home | 2 spaces per dwelling unit. Spaces may be in tandem. |
| Dwelling, Manufactured Home (within a Manufactured Home Park) | 2 spaces per dwelling unit. 1 guest space per every 5 units. |
| Garage Suite Garden Suite Secondary Suite | 1 space per suite, in addition to the parking requirements for the principal dwelling. Parking may be in tandem with the spaces for the principal dwelling. |



9.5 PRIVACY WALLS

9.5.1 Unless otherwise referenced in a specific Land Use District, a privacy wall may be located on a patio, deck, or balcony provided that it:

- a) Does not exceed 2.0m (6.6ft) in height when measured from the surface of the patio, deck, or balcony (Figure 9.5); and

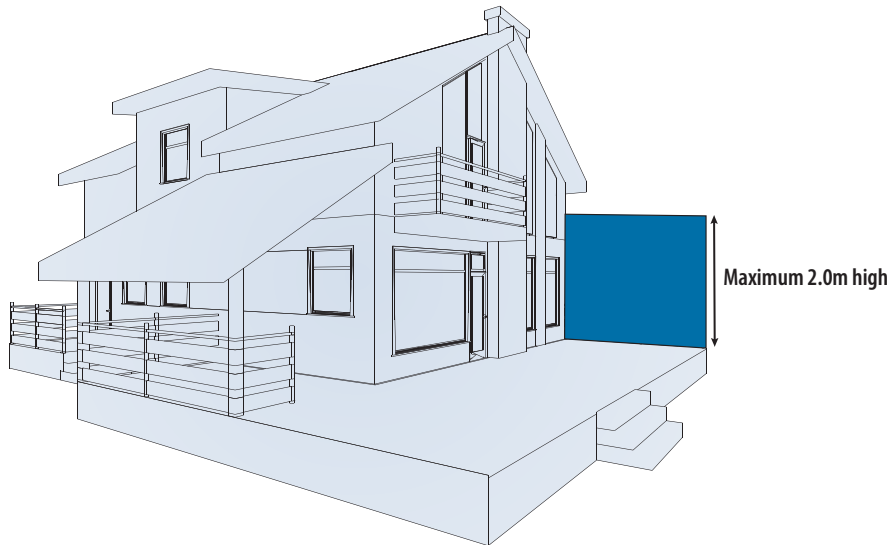


Figure 9.5: Privacy Wall Height Maximum

- b) Is not located between the foremost front façade of the principal building and the front property line.

RESIDENTIAL LANDSCAPING

9.6 LANDSCAPING REQUIREMENTS FOR RESIDENTIAL USES

9.6.1 No more than 10.0m (32.8ft) of the front yard of any single detached, semi-detached, or row house shall be covered in hard landscaping (Figure 9.6a).

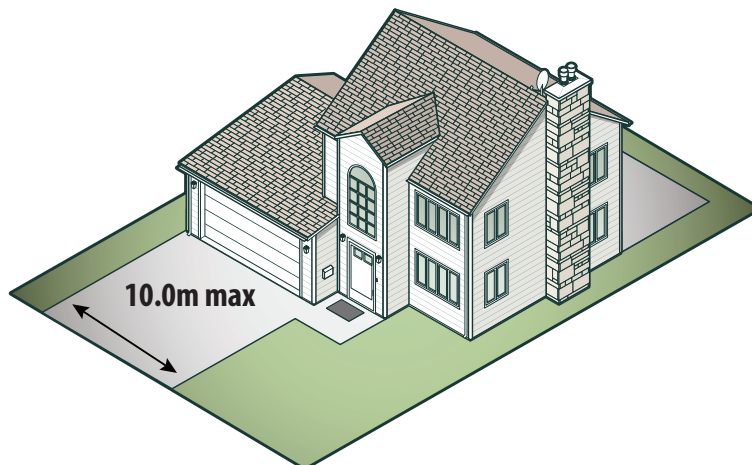


Figure 9.6a: Front Yard Hard Landscaping



9.6.2 In addition to the provisions of Section 6.13 General Landscaping Requirements, the following shall apply to all multi-unit housing developments of 6 or more units:

- a) A minimum of 20% of the site area shall be landscaped, including all areas not occupied by buildings or parking areas;
- b) Any parking lot having eight (8) or more parking spaces that are visible from an adjoining site in a residential area shall have plantings of trees and/or shrubs around the perimeter of the site; and
- c) Landscape buffers (Figure 9.6b) between parking, loading, and hard surfaced areas and adjacent residential sites shall be a minimum of 3.0m (9.8ft) in width, or to the satisfaction of the Development Authority, and shall include:
 - i. A mix of deciduous and coniferous trees with at least 60% of those trees being coniferous; and
 - ii. The trees included shall be at least 6.1m (20.0ft) high at maturity.

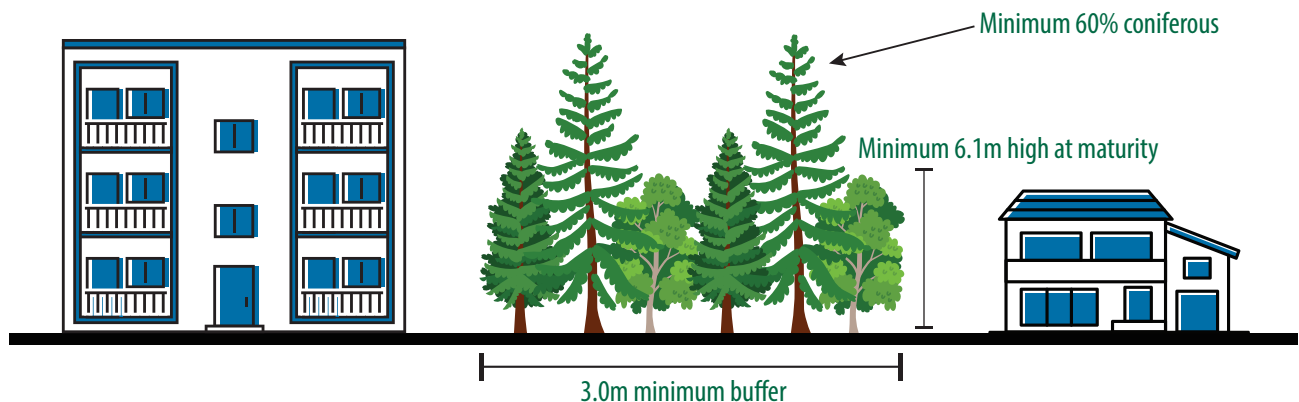


Figure 9.6b: Residential Landscape Buffers



RESIDENTIAL INFILL DEVELOPMENT

9.7 RESIDENTIAL INFILL DEVELOPMENT STANDARDS

- 9.7.1 Infill development should be designed to reflect the established character of the neighbourhood through similar massing, scale, foundation height, roof lines, architectural details, or building materials.
- 9.7.2 To maximize an infill development's integration with the existing neighbourhood, buildings with multiple units should incorporate fundamental design elements found within the neighbourhood.



Figure 9.7a: Infill Development Building Design

- 9.7.3 Infill development should be designed to minimize the impact on existing adjacent dwellings, including:
- Buildings should be designed to limit the real or perceived height difference between adjacent properties;
 - Buildings should be located to minimize the amount of shadow cast onto the amenity space of adjacent properties;
 - The primary entrance to each dwelling unit should face the same direction as the majority of the other dwellings in the vicinity; and
 - The privacy of adjacent properties shall be respected through the appropriate placement of windows, decks, and any other feature that may infringe upon the privacy of a neighbouring dwelling.
- 9.7.4 The Development Authority may impose additional conditions to ensure development is sensitive to the scale, form, and character of the neighbourhood, with special consideration given to the transition to existing adjacent dwellings.

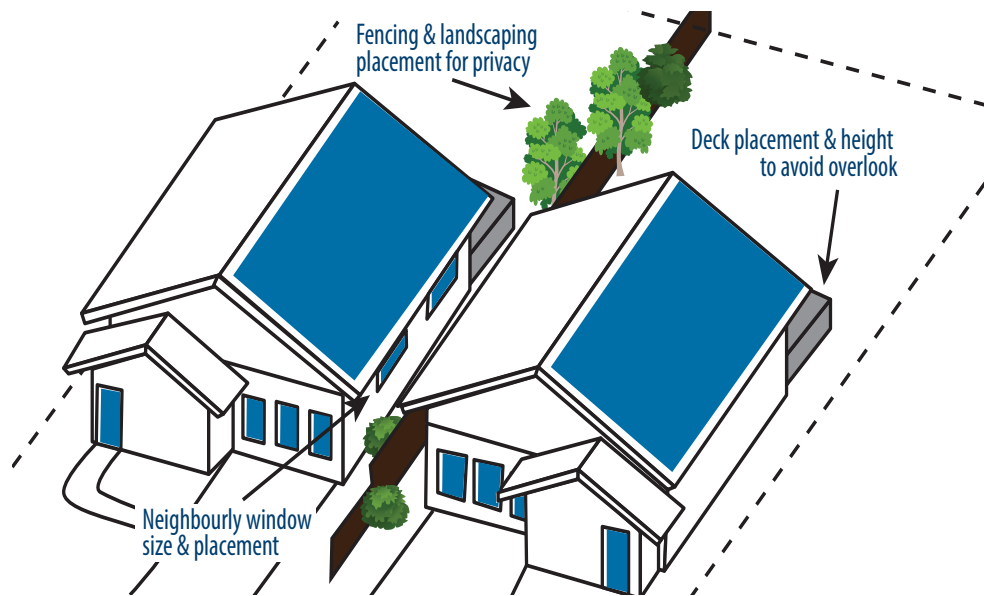


Figure 9.7b: Infill Development Site Design

- 9.7.5 Special consideration should be given to building locations to ensure setbacks of infill development are compatible with the character of the neighbourhood, specifically the front yard setbacks in comparison to the existing adjacent dwellings.
- 9.7.6 The number and width of accesses from the public street should be limited and driveways shared where possible in order to maintain on-street parking.
- 9.7.7 Existing mature soft landscaping should be retained to the extent possible and planting of additional soft landscaping is encouraged to maintain and enhance the existing tree canopy.



9.8 R1 - LOW DENSITY RESIDENTIAL DISTRICT

9.8.1 R1 PURPOSE

The purpose of this District is to allow for low density ~~single-detached~~ residential development and associated supporting uses ~~that may be appropriate for~~ on ~~primarily large lots in~~ low density neighbourhoods.



Figure 9.8a: Example R1 Building Forms

9.8.2 R1 PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.8.2 b) and c) and shall ensure:

- i. Only one Secondary Suite; Garage Suite, or Garden Suite is permitted per lot.

| b) R1 PERMITTED USES | c) R1 DISCRETIONARY USES |
|--|------------------------------------|
| Day Home | Assisted Living Facility, Limited |
| Dwelling, Single-Detached | Bed and Breakfast |
| Dwelling, Semi-Detached | Child Care Facility |
| Garage Suite | Dwelling, Semi-Detached |
| Garden Suite | Home Business |
| Home Office | Show Home |
| Public Utility | Temporary Sales Centre |
| Renewable Energy Device, Limited | |
| Secondary Suite | |
| Accessory development to any use listed in subsection 9.8.2 b) or c) | |



9.8.3 R1 LOT SUBDIVISION STANDARDS

| | INTERIOR OR CORNER LOT |
|--------------|---|
| a) Lot Width | 15.0m (49.2ft) minimum |
| b) Lot Depth | 35.0m 30.0m (114.8ft 98.4ft) minimum |
| c) Lot Area | 450.0m ² (4,843.8ft ²) minimum |

9.8.4 R1 DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|----------------------------------|---|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Front Setback (Plan 172 0439) | 3.5m (11.5ft) minimum | | |
| c) Side Setback | 1.2m (3.9ft) minimum | | |
| d) Rear Setback | 7.5m (24.6ft) minimum | | |
| e) Floor Area | 100.0m ² (1,076ft ²) minimum | | |
| f) Height | Principal Building: Two (2) storeys, 10.0m (32.8ft) maximum | | |
| g) Lot Coverage | 30% maximum for principal building | | |
| | 40% maximum for all buildings and structures | | |
| h) Density | 2 dwelling units per lot maximum, achieved by one of the following: | | |
| | A single-detached dwelling and one (1) suite of any type | | |
| | A semi-detached dwelling: 2 dwelling units per lot maximum | | |
| | 25 units/net hectare maximum | | |

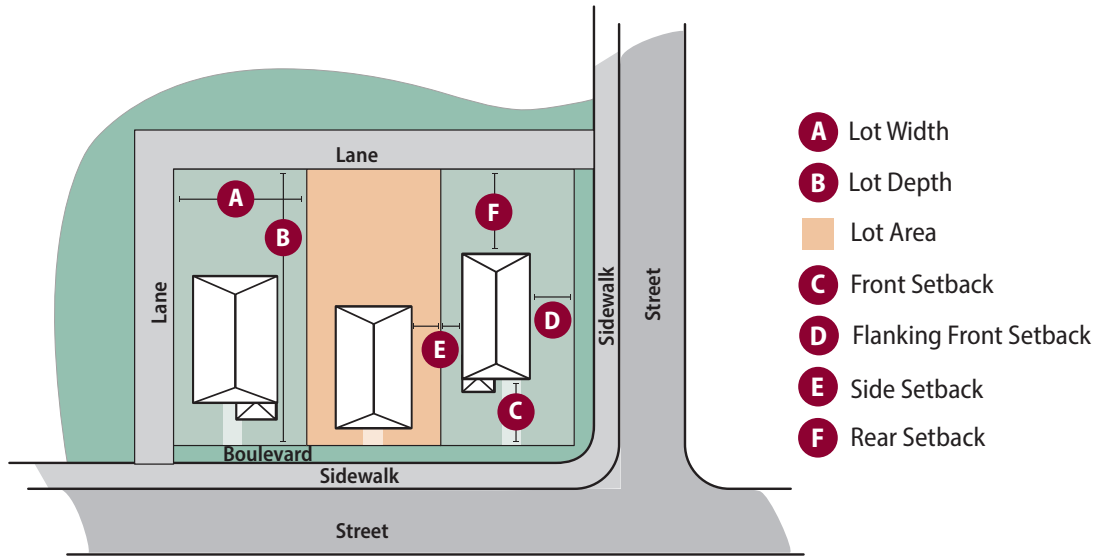


Figure 9.8b: R1 Subdivision and Development Standards

9.8.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R1:

- a) Development of ~~single-detached~~ dwellings where no lanes are provided must include provision for the future development of a garage, either attached or detached, and access to it.
- b) ~~The Development Authority shall exercise discretion in considering~~ Semi-detached dwelling developments ~~shall be designed~~ with regard for ~~the~~:
 - i. Compatibility of the use with the siting, height, building types, and material characteristic of surrounding dwellings; and
 - ii. ~~The~~ Effect on the privacy of adjacent properties.
- c) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.

NEW



9.9 R1-B - LOW DENSITY VARIABLE RESIDENTIAL DISTRICT

9.9.1 R1-B PURPOSE

The purpose of this District is to allow for low density residential building forms on lots of varying sizes in low density residential neighbourhoods.



Figure 9.9a: Example R1-B Building Forms

9.9.2 R1-B PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.9.2 b) and c) and shall ensure:

- i. Only one Secondary Suite; Garage Suite, or Garden Suite is permitted per lot.

| b) R1-B PERMITTED USES | c) R1-B DISCRETIONARY USES |
|--|-----------------------------------|
| Day Home | Assisted Living Facility, Limited |
| Dwelling, Single-Detached | Bed and Breakfast |
| Dwelling, Semi-Detached | Child Care Facility |
| Garage Suite | Home Business |
| Garden Suite | Show Home |
| Home Office | Temporary Sales Centre |
| Public Utility | |
| Renewable Energy Device, Limited | |
| Secondary Suite | |
| Accessory development to any use listed in subsection 9.9.2 b) or c) | |



NEW

9.9.3 R1-B LOT SUBDIVISION STANDARDS

| | INTERIOR LOT | CORNER LOT |
|---------------------|---|-------------------------|
| a) Lot Width | Single-Detached Dwellings | |
| | 11.0m (36.1 ft) minimum | 13.0m (42.7 ft) minimum |
| | Semi-Detached Dwellings | |
| | 8.0m (26.2ft) minimum | 10.0m (32.8ft) minimum |
| b) Lot Depth | 30.0m (98.4ft) minimum | |
| c) Lot Area | Single-Detached Dwellings | |
| | 330.0m ² (3,552.1ft ²) minimum | |
| | Semi-Detached Dwellings | |
| | 240.0m ² (2,583.3ft ²) minimum | |

9.9.4 R1-B DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|-------------------------|---|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Side Setback | 1.2m (3.9ft) minimum | | |
| c) Rear Setback | 7.5m (24.6ft) minimum | | |
| d) Height | Principal Building: Two (2) storeys, 10.0m (32.8ft) maximum | | |
| e) Lot Coverage | 40% maximum for principal building | | |
| | 50% maximum for all buildings and structures | | |
| f) Density | 2 dwelling units per lot maximum, achieved by one of the following: | | |
| | A single-detached dwelling and one (1) suite of any type | | |
| | A semi-detached dwelling | | |

NEW

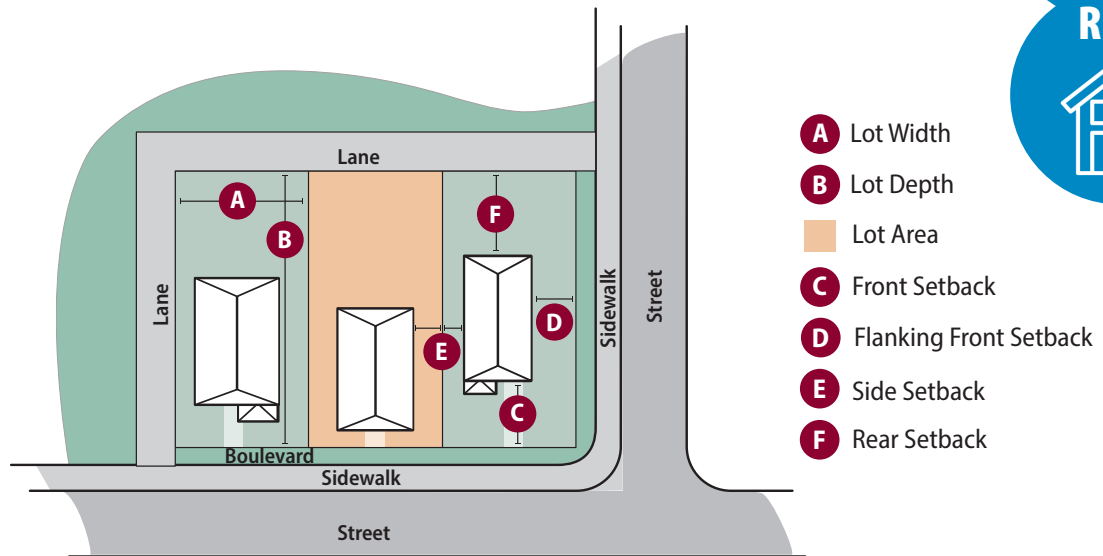


Figure 9.9b: R1-B Subdivision and Development Standards

9.9.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R1-B:

- Development of dwellings where no lanes are provided must include provision for the future development of a garage, either attached or detached, and access to it.
- All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.

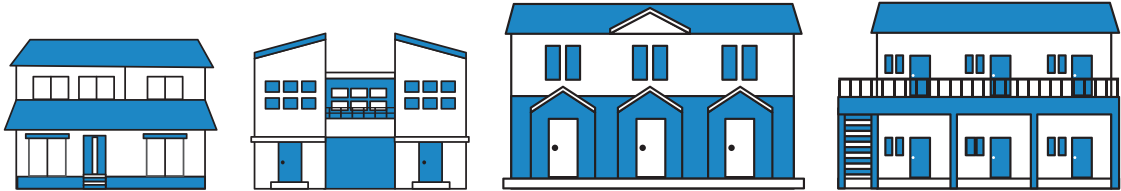


9.10 R2 - MEDIUM DENSITY RESIDENTIAL DISTRICT

9.10.1 R2 PURPOSE

The purpose of this District is to allow for a variety of medium-density residential land uses ~~such as row housing and stacked row housing developments.~~

Figure 9.10a: Example R2 Building Forms



9.10.2 R2 PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.10.2 b) and c) and shall ensure:

- i. Secondary Suite, Garage Suite, and Garden Suite uses shall only be accessory to a Dwelling, Single-Detached; and
- ii. Only one Secondary Suite; Garage Suite, or Garden Suite is permitted per lot.

| b) R2 PERMITTED USES | c) R2 DISCRETIONARY USES |
|---|--|
| Day Home | Assisted Living Facility, Limited |
| Dwelling, Row Housing Multi-Attached | Child Care Facility |
| Dwelling, Semi-Detached | Dwelling, Manufactured Home |
| Dwelling, Single-Detached | Garage Suite |
| Dwelling, Stacked Row Housing | Garden Suite |
| Home Office | Home Business |
| Public Utility | Secondary Suite |
| Renewable Energy Device, Limited | Show Home |
| Accessory development to any use listed in subsection 9.10.2 b) or c) | Temporary Sales Centre |



9.10.3 R2 LOT SUBDIVISION STANDARDS

| | INTERIOR LOT | CORNER LOT |
|--------------|---|-------------------------|
| a) Lot Width | 15.0m (49.2ft) 10.0m (32.8 ft) minimum | 12.0m (39.3 ft) minimum |
| b) Lot Depth | 35.0m (114.8ft) 30.0m (98.4ft) minimum | |
| c) Lot Area | 450.0m² (4,843.8ft²) 300.0m ² (3,229.2ft ²) minimum | |

9.10.4 R2 DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|------------------|---|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Side Setback | 1.5m (4.9ft) minimum | | |
| c) Rear Setback | 7.5m (24.6ft) minimum | | |
| d) Height | Principal Building: Two and a half (2 1/2) Three (3) storeys, 12.0m (39.4ft) maximum | | |
| e) Lot Coverage | 40% maximum for principal building | | |
| | 50% maximum for all buildings and structures | | |
| f) Density | 50 70 units/net hectare, maximum | | |

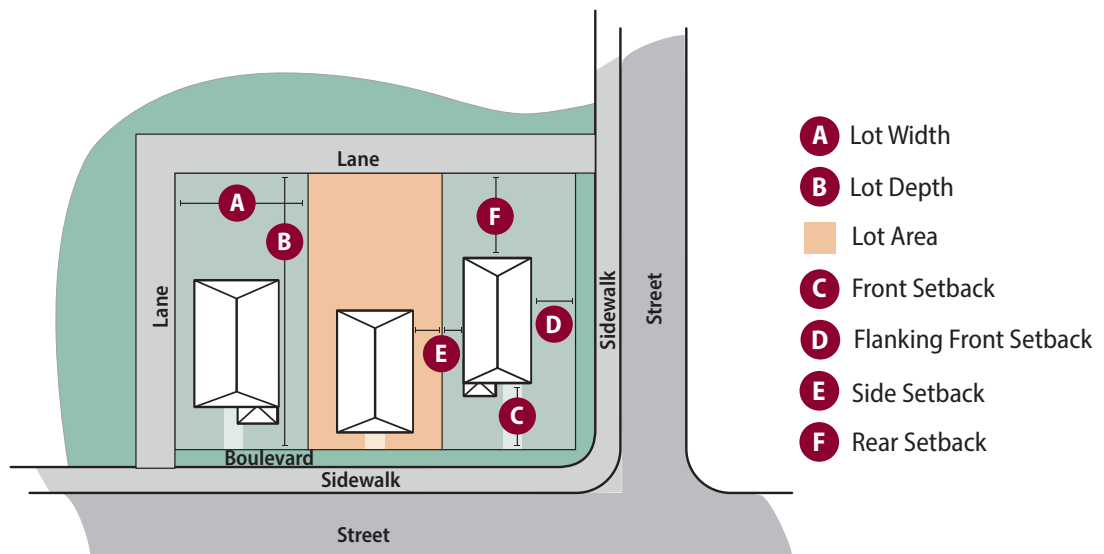


Figure 9.10b: R2 Subdivision and Development Standards



9.10.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R2:

- a) Development of semi-detached dwellings where no lanes are provided must include provision for the future development of a garage, either attached or detached, and access to it.
- b) Parking for ~~row-housing or stacked row-housing~~ multi-attached dwellings shall be either covered or provided as a surface parking lot.
- c) Where a lane exists, ~~semi-detached, row-housing, or stacked row-housing~~ all dwellings shall be designed such that vehicular access is from the rear of the property.
- d) Front and rear yards shall be considered as amenity areas for ~~row-housing and stacked row-housing~~ multi-attached dwelling developments.
- e) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.



9.11 R3 - HIGH DENSITY RESIDENTIAL DISTRICT

9.11.1 R3 PURPOSE

The purpose of this District is to allow for high-density residential development including **row-housing, stacked-row-housing multi-attached dwellings**, apartments and other supporting non-residential uses that may be appropriate to serve the high-density residential areas.



Figure 9.11a: Example R3 Building Forms

9.11.2 R3 PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.11.2 b) and c) and shall ensure:

- i. Personal Service; Professional, Office, Government, and Business Service; and Retail, General Uses are not permitted as a principal use in a stand-alone building and shall only be located at the ground floor of a Dwelling, Apartment.

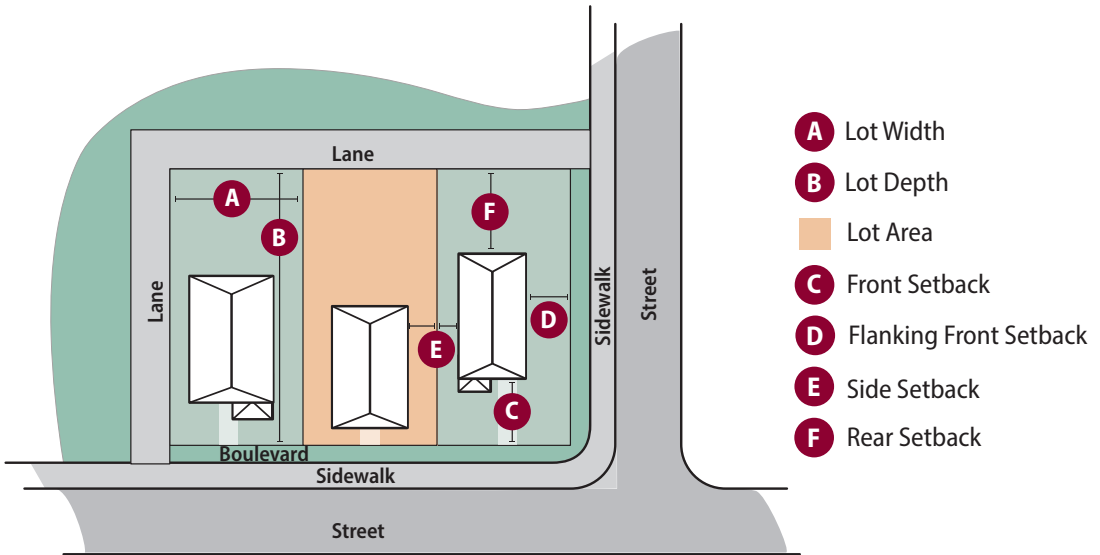
| b) R3 PERMITTED USES | c) R3 DISCRETIONARY USES |
|---|--|
| Assisted Living Facility | Child Care Facility |
| Dwelling, Apartment | Personal Service |
| Dwelling, Row-Housing Multi-Attached Dwelling, Stacked Row Housing | Professional, Office, Government, and Business Service |
| Home Office | Retail, General |
| Public Utility | Show Home |
| Renewable Energy Device, Limited | Temporary Sales Centre |
| Sign, A-Frame | |
| Sign, Fascia | |
| Sign, Flag | |
| Sign, Freestanding | |
| Accessory development to any use listed in subsection 9.11.2 b) or c) | |



9.11.3 R3 LOT SUBDIVISION STANDARDS

| | INTERIOR OR CORNER LOT |
|--------------|---|
| a) Lot Width | 20.0m (65.6ft) minimum At the discretion of the Development Authority |
| b) Lot Depth | 35.0m (114.8ft) minimum At the discretion of the Development Authority |
| c) Lot Area | 700.0m ² (7,534.7ft ²) minimum |

| | INTERIOR LOT | CORNER LOT | |
|------------------|--|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Side Setback | 3.0m (9.8ft) minimum | | |
| c) Rear Setback | Principal Building: 7.5m (24.6ft) minimum | | |
| | Accessory Building: 3.0m (9.8ft) minimum | | |
| d) Height | Principal Building: Four (4) storeys, 16.0m (52.5ft) maximum | | |
| e) Lot Coverage | 40% 50% maximum for principal building | | |
| | 50% 60% maximum for all buildings and structures | | |
| f) Density | 80 100 units/net hectare, maximum | | |



9.11.4 R3 DEVELOPMENT STANDARDS

Figure 9.9b: R3 Subdivision and Development Standards



9.11.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R3:

- a) Where a lane exists, ~~apartments, row housing, or stacked row housing dwellings~~ and multi-attached dwellings shall be designed such that vehicular access is from the rear of the property.
- b) Where a lane exists, attached, or detached front garages shall be discouraged.
- c) Apartment dwelling developments shall include amenity areas as follows:
 - i. Indoor amenity area of 7.5m² (80.7ft²) per unit, which may include covered or uncovered balconies and other indoor common recreational facilities including multipurpose facilities, gymnasium, or other similar facilities; and
 - ii. Outdoor amenity area totaling a minimum of 10% of the site area, which may include outdoor recreational uses such as a gazebo, outdoor seating, children's play area, or similar facilities.
- d) Front and rear yards shall be considered as amenity areas for ~~row housing and stacked row housing~~ multi-attached dwelling developments.
- e) Where there are two (2) or more buildings on one lot, there shall be a minimum separation distance of 6.0m (19.7ft) between each building.
- f) Residential units on a ground floor fronting a public sidewalk shall provide a minimum at grade separation of 1.0m (3.3ft).
- g) For multi-building developments, the buildings shall relate to each other and to the site, in particular, in respect to such matters as appearance, provision of adequate light, privacy, and landscaping.
- h) ~~Row-house and stacked-row house buildings~~ Multi-attached dwellings shall be setback a minimum of 6.0m (19.7ft) from internal private roadways.
- i) The Development Authority may approve a storage compound on site for the storage of large trucks, recreational vehicles, and similar equipment. There shall be no outdoor storage of furniture or other similar equipment.
- j) Waste collection areas shall generally be located at the rear of the site and appropriately screened from adjacent properties and the public roadway using appropriate landscaping measures to the satisfaction of the Development Authority.



- k) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.



9.12 RMM - MEDIUM DENSITY MULTIPLE RESIDENTIAL DISTRICT

9.12.1 RMM PURPOSE

The purpose of this District is to provide for the development of mixed medium density residential land uses as part of site-specific condominium developments.

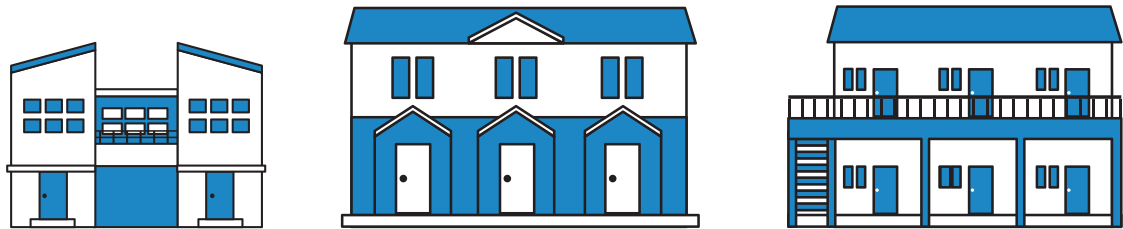


Figure 9.12a: Example RMM Building Forms

9.12.2 RMM PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.12.2 b) and c) and shall ensure:

- i. None.

| b) RMM PERMITTED USES | c) RMM DISCRETIONARY USES |
|---|---------------------------|
| Dwelling, Semi-Detached | Child Care Facility |
| Dwelling, Row-Housing Multi-Attached | Home Business |
| Dwelling, Stacked Row-Housing | Show Home |
| Home Office | Temporary Sales Centre |
| Public Utility | |
| Renewable Energy Device, Limited | |
| Sign, Freestanding | |
| Accessory development to any use listed in subsection 9.12.2 b) or c) | |



9.12.3 RMM SUBDIVISION STANDARDS

| | INTERIOR OR CORNER LOT |
|--------------|---|
| a) Lot Width | 13.0m (42.7ft) minimum |
| b) Lot Depth | 24.0m (78.7ft) minimum |
| c) Lot Area | 310.0m ² (3,336.8ft ²) minimum |

9.12.4 RMM DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|------------------|--|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Side Setback | 1.5m (4.9ft) minimum | | |
| c) Rear Setback | 3.0m (9.8ft) minimum | | |
| d) Height | Principal Building: Two and a half (2 1/2) storeys, 12.0m (39.4ft) maximum | | |
| e) Lot Coverage | 50% maximum for principal building | | |
| | 60% maximum for all buildings and structures | | |
| f) Density | 50 70 units/net hectare, maximum | | |

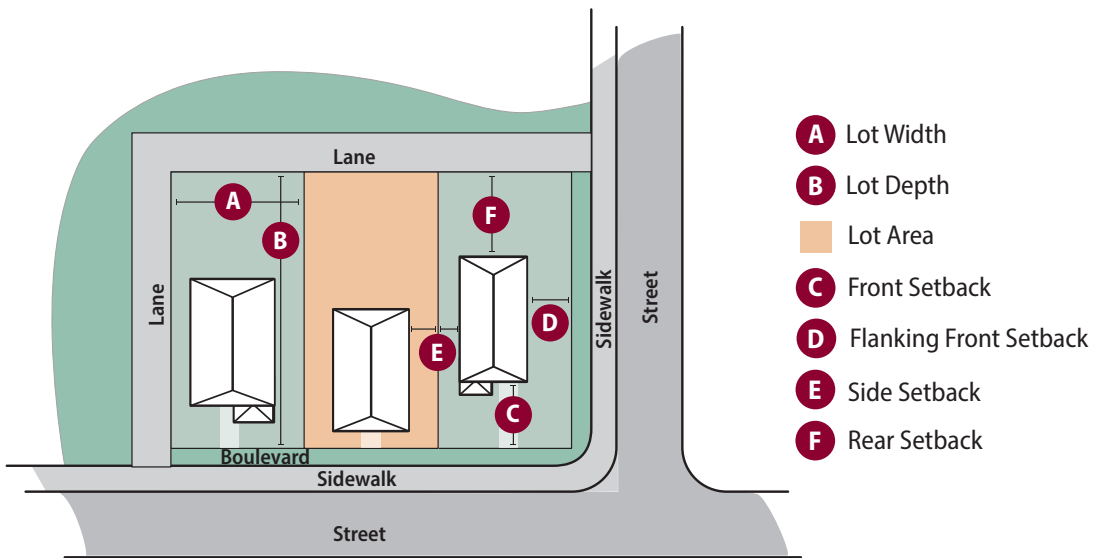


Figure 9.12b: RMM Subdivision and Development Standards

9.12.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR RMM:

- a) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.





9.13 RE - ESTATE RESIDENTIAL DISTRICT

9.13.1 RE PURPOSE

The purpose of this District is to provide for **large-lot** single-detached residential development **on oversized lots**.

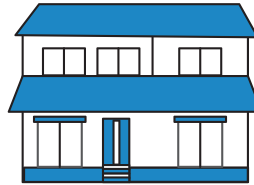


Figure 9.13a: Example RE Building Forms

9.13.2 RE PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.13.2 b) and c) and shall ensure:

- i. Only one Secondary Suite; Garage Suite, or Garden Suite is permitted per lot.

| b) RE PERMITTED USES | c) RE DISCRETIONARY USES |
|---|--------------------------|
| Day Home | Bed and Breakfast |
| Dwelling, Single-Detached | Child Care Facility |
| Home Office | Home Business |
| Garage Suite | Show Home |
| Garden Suite | Temporary Sales Centre |
| Public Utility | |
| Renewable Energy Device, Limited | |
| Secondary Suite | |
| Sign, Freestanding | |
| Accessory development to any use listed in subsection 9.13.2 b) or c) | |



9.13.3 RE SUBDIVISION STANDARDS

| | INTERIOR OR CORNER LOT |
|--------------|--|
| a) Lot Width | 30.0m (98.4ft) minimum |
| b) Lot Depth | 70.0m (229.7ft) minimum |
| c) Lot Area | 2,100.0m ² (22,604.2ft ²) minimum |

9.13.4 RE DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|------------------|--|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 6.0m (19.7ft) minimum |
| b) Side Setback | 3.0m (9.8ft) minimum | | |
| c) Rear Setback | 7.5m (24.6ft) minimum | | |
| d) Height | Principal Building: Two and a half (2 1/2) storeys, 12.0m (39.4ft) maximum | | |
| e) Lot Coverage | 25% maximum for principal building | | |
| | 35% maximum for all buildings and structures | | |
| f) Density | 1 principal dwelling unit and 1 suite per lot | | |

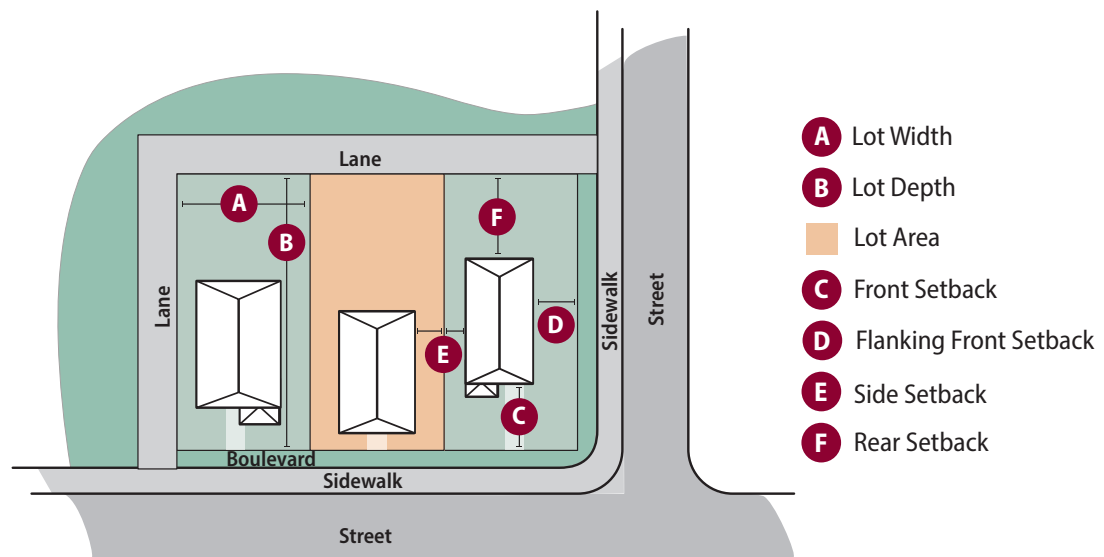


Figure 9.13b: RE Subdivision and Development Standards



9.13.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR RE

- a) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.



9.14 RMH-1 - MANUFACTURED HOME SUBDIVISION RESIDENTIAL DISTRICT

9.14.1 RMH-1 PURPOSE

The purpose of this District is to allow the development of residential subdivisions composed of manufactured homes.

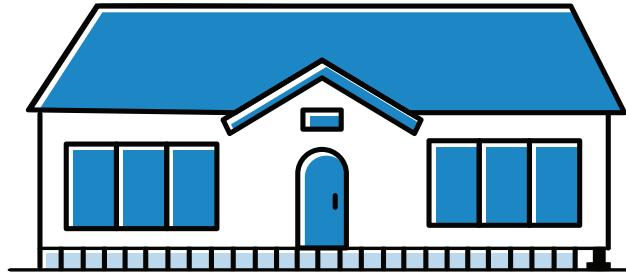


Figure 9.14a: Example RMH-1 Building Form

9.14.2 RMH-1 PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.14.2 b) and c) and shall ensure:

- i. Only one Garage Suite, or Garden Suite is permitted per lot.

| b) RMH-1 PERMITTED USES | c) RMH-1 DISCRETIONARY USES |
|---|--|
| Day Home Dwelling, Manufactured Home Garage Suite Garden Suite Home Office Public Utility Renewable Energy Device, Limited Accessory development to any use listed in subsection 9.14.2 b) or c) | Child Care Facility Dwelling, Single-Detached Home Business Show Home Temporary Sales Centre |



9.14.3 RMH-1 SUBDIVISION STANDARDS

| | INTERIOR OR CORNER LOT |
|--------------|---|
| a) Lot Width | 15.0m (49.2ft) minimum |
| b) Lot Depth | 35.0m (114.8ft) minimum |
| c) Lot Area | 450.0m ² (4,843.8ft ²) minimum |

9.14.4 RMH-1 DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|------------------|---|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Side Setback | 1.2m (3.9ft) minimum | | |
| c) Rear Setback | 7.5m (24.6ft) minimum | | |
| d) Floor Area | 100.0m ² (1,076.4ft ²) minimum | | |
| e) Height | Principal Building: One (1) storey, 6.0m (19.7ft) maximum | | |
| f) Lot Coverage | 30% maximum for principal building | | |
| | 40% maximum for all buildings and structures | | |
| g) Density | 1 dwelling unit and 1 suite per lot | | |

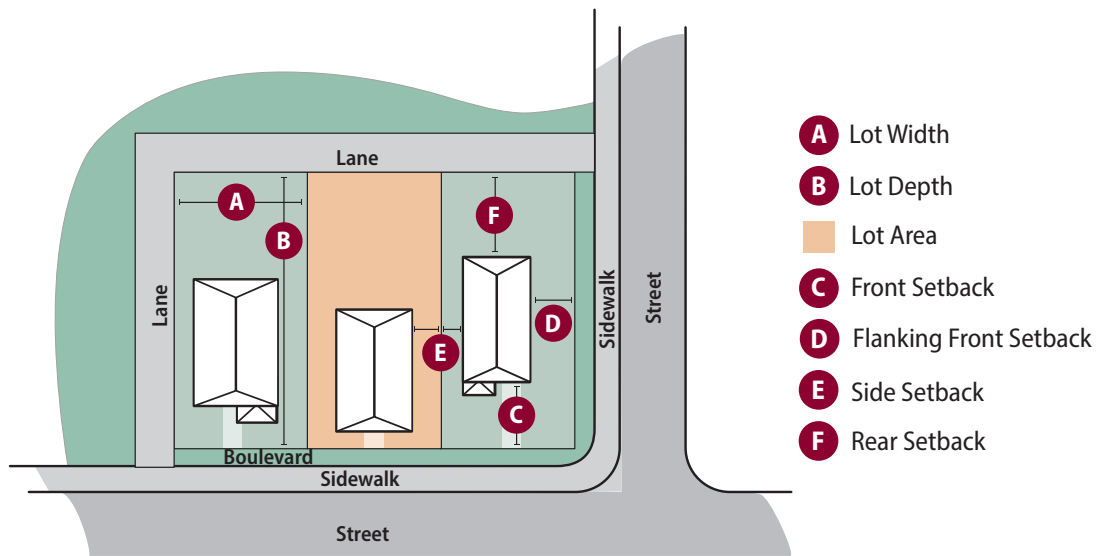


Figure 9.14b: RMH-1 Subdivision and Development Standards



9.14.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR RMH-1:

- a) No parking areas shall be located in the front yard unless part of a driveway on either side of a manufactured home.
- b) Detached garages shall have a minimum separation distance of 2.4m (7.9ft) from a manufactured home.
- c) The design and siting of manufactured homes and accessory buildings shall comply with the following:
 - i. All accessory buildings and structures such as steps, patios, porches, additions, and storage facilities shall be factory prefabricated, or the equivalent, the exterior and design of such shall match the manufactured home; and
 - ii. Additions to a manufactured home shall have a foundation or skirting equivalent to that of the manufactured home.
- d) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.



9.15 RMH-2 - MANUFACTURED HOME PARK RESIDENTIAL DISTRICT

9.15.1 RMH-2 PURPOSE

The purpose of this District is to allow for the development of manufactured home developments where individual stalls are leased separately with shared common internal green space and other community facilities.

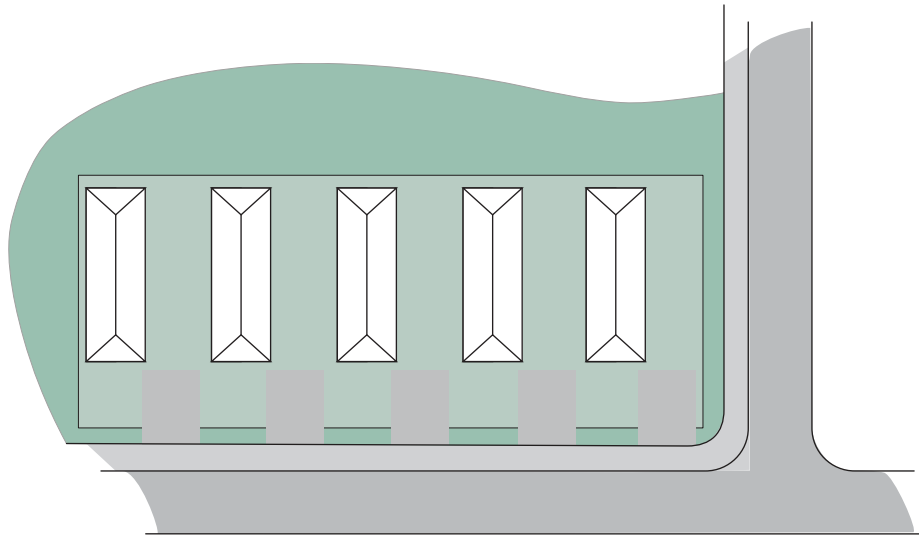


Figure 9.15a: Example RMH-2 Site Layout

9.15.2 RMH-2 PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.15.2 b) and c) and shall ensure:

- i. None.

b) RMH-2 PERMITTED USES

Dwelling, Manufactured Home
 Home Office
 Public Utility
 Renewable Energy Device, Limited
 Sign, Freestanding
 Accessory development to any use listed in subsection 9.15.2 b) or c)

c) RMH-2 DISCRETIONARY USES

Child Care Facility
 Show Home
 Temporary Sales Centre



9.15.3 RMH-2 SUBDIVISION STANDARDS

| | STALL OR SITE |
|----------------|---|
| a) Stall Width | 13.7m (44.9ft) minimum |
| b) Stall Depth | 30.0m (98.4ft) minimum |
| c) Site Area | 0.8ha (2.0ac) minimum 4.0ha (10.0ac) maximum |

9.15.4 RMH-2 DEVELOPMENT STANDARDS

| | STALL |
|------------------|--|
| a) Front Setback | 6.0m (19.7ft) minimum |
| b) Side Setback | 1.5m (4.9ft) minimum |
| c) Rear Setback | 1.5m (4.9ft) minimum |
| d) Floor Area | 100.0m ² (1,076.4ft ²) minimum |
| e) Height | Principal Building: One (1) storey, 6.0m (19.7ft) maximum |
| f) Lot Coverage | 28% maximum for principal building 40% maximum for all buildings and structures |
| g) Density | 1 dwelling unit per lot maximum 20 stalls per ha (8.1 per ac) maximum |

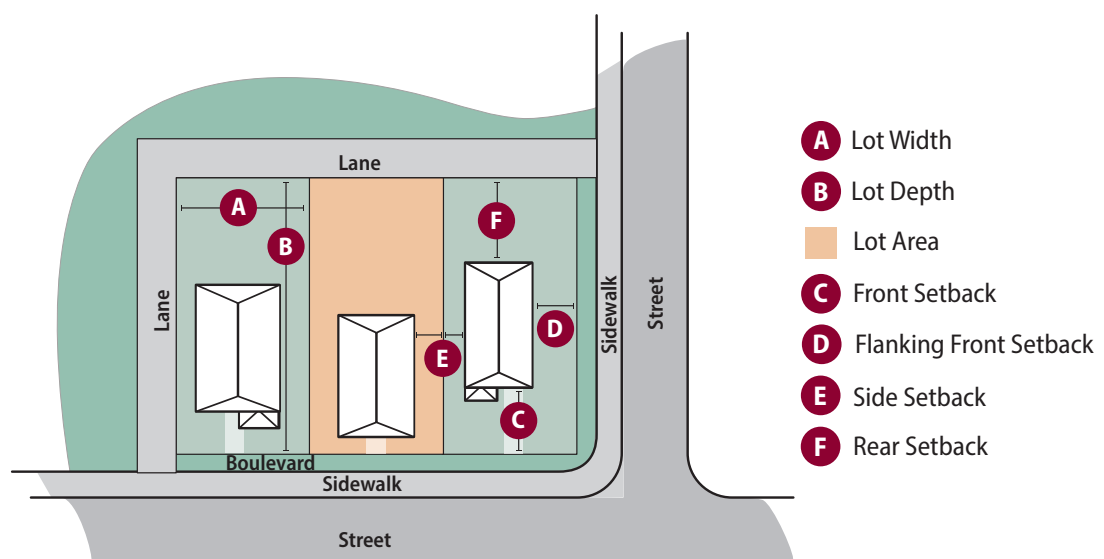


Figure 9.15b: RMH-2 Subdivision and Development Standards



9.15.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR RMH-2:

- a) No parking areas shall be located in the front yard unless part of a driveway on either side of a manufactured home.
- b) Detached garages shall have a minimum separation distance of 2.4m (7.9ft) from a manufactured home.
- c) Visitor parking areas shall be signed as such and shall be placed in convenient locations throughout the development and not used for storage of leaseholders' recreational vehicles and equipment.
- d) Manufactured homes shall be setback a minimum of 6.0m (19.7ft) from internal private roadways.
- e) Smaller site areas may be approved at the discretion of the Development Authority where the development is proposed to be staged and where the site is adjacent to an existing or proposed manufactured home development.
- f) All internal roads and lanes shall be paved, well drained, and maintained to the satisfaction of the Development Authority.
- g) Minimum width of internal roadway surfaces shall be 12.0m (39.4ft).
- h) Manufactured homes and all community facilities in the development shall be connected by a safe, convenient, concrete pedestrian walkway of at least 1.2m (3.9ft) in width.
- i) Manufactured home developments shall have at least two (2) legal road accesses.
- j) A minimum of 10% of the total combined stall area shall be provided for the recreational use of the leaseholders as an amenity area. The amenity area shall be:
 - i. Located in a convenient location to all stalls;
 - ii. Free from traffic hazards;
 - iii. Clearly marked and landscaped including screening or fencing; and
 - iv. Not located in designated buffer areas.
- k) Notwithstanding subsection 9.15.5 j), the amount of amenity area may be reduced at the discretion of the Development Authority if, in its opinion, adequate amenity space exists in the neighbourhood in which the manufactured home development is located.



- l) Screening in the form of vegetation or fencing to the satisfaction of the Development Authority shall be provided:
 - i. Between the manufactured home development and adjacent uses; and
 - ii. Around laundry areas, service buildings, and waste collection facilities.
- m) All accessory buildings and structures such as steps, patios, porches, additions, and storage facilities shall be factory prefabricated or the equivalent thereof, the exterior and design of such shall match the manufactured home.
- n) Additions to a manufactured home shall have a foundation or skirting equivalent to that of the manufactured home.
- o) The management of the manufactured home park shall at all time maintain the development and the common buildings, structures and improvements thereon in a clean, neat, tidy, and attractive condition free from all rubbish and debris.
- p) Each manufactured home stall shall be clearly marked on the ground by permanent stakes or markers, and shall be clearly defined with a stall number or other address system.
- q) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.



9.16 R-NC - RESIDENTIAL NEIGHBOURHOOD COMMERCIAL DISTRICT

9.16.1 R-NC PURPOSE

The purpose of this District is to provide for a variety of housing options while allowing for neighbourhood-scale commercial, business or community activities that function as a central neighbourhood hub.

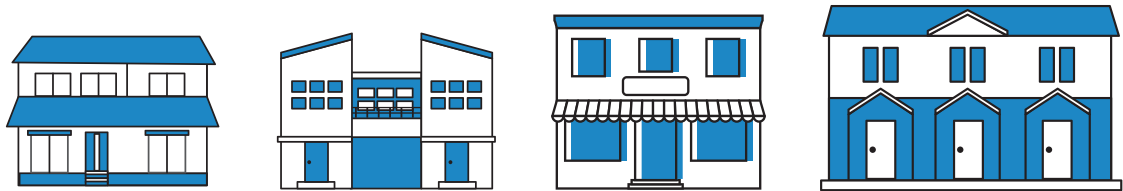


Figure 9.16a: Example R-NC Building Forms

9.16.2 R-NC PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.16.2 b) and c) and shall ensure:

- i. That any Use which includes a drive-in business shall be considered neither a Permitted nor a Discretionary Use; and; and
- ii. Indoor Playground shall have a maximum floor area of 185.8m² (2000.00 ft²) dedicated to patron space.

| b) R-NC PERMITTED USES | c) R-NC DISCRETIONARY USES |
|--|---------------------------------|
| Child Care Facility | Bed and Breakfast |
| Dwelling, Row Housing Multi-Attached | Cultural and Community Facility |
| Dwelling, Semi-Detached | Health Service |
| Dwelling, Single-Detached | Home Business |
| Dwelling, Stacked Row Housing | Retail, General |
| Home Office | Show Home |
| Indoor Playground | Sign, Inflatable |
| Personal Service | Sign, Portable |
| Professional, Office, Government, and Business Service | Sign, Roof |
| Public Utility | Temporary Sales Centre |
| Renewable Energy Device, Limited | Workshop, Limited |
| Sign, A-Frame | |



| b) R-NC PERMITTED USES | c) R-NC DISCRETIONARY USES |
|---|----------------------------|
| Sign, Fascia | |
| Sign, Freestanding | |
| Sign, Marquee/Canopy | |
| Sign, Projecting | |
| Accessory development to any use listed in subsection 9.16.2 b) or c) | |

9.16.3 RMH-2 SUBDIVISION STANDARDS

| | INTERIOR OR CORNER LOT |
|--------------|---|
| a) Lot Width | At the discretion of the Development Authority |
| b) Lot Depth | At the discretion of the Development Authority |
| c) Lot Area | 450.0m ² (4,843.8ft ²) minimum |

9.16.4 RMH-2 DEVELOPMENT STANDARDS

| | INTERIOR LOT | CORNER LOT | |
|------------------|---|------------|-----------------------|
| a) Front Setback | 6.0m (19.7ft) minimum | Front | 6.0m (19.7ft) minimum |
| | | Flanking | 3.0m (9.8ft) minimum |
| b) Side Setback | Principal Building: 1.5m (4.9ft) minimum | | |
| | Accessory Building: 1.0m (3.3ft) minimum | | |
| c) Rear Setback | Principal Building: 3.0m (9.8ft) minimum | | |
| | Accessory Building: 1.0m (3.3ft) minimum | | |
| d) Height | Three (3) storeys, 11.0m (36.0ft) maximum | | |
| | A maximum differential of 1 storey shall be allowed between adjacent sites. | | |
| e) Lot Coverage | 40% maximum for principal building | | |
| | 50% maximum for all buildings and structures | | |

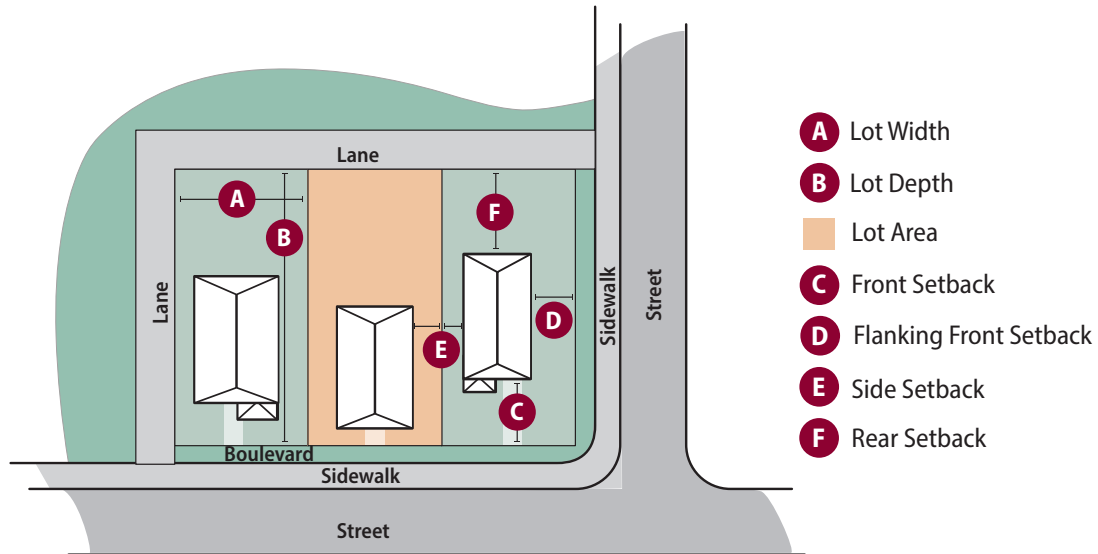


Figure 9.16b: R-NC Subdivision and Development Standards

9.16.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R-NC:

- a) Fencing shall not be permitted within the front yard area.
- b) No outdoor storage shall be permitted.
- c) Dwellings two (2) storeys or taller must be designed so that windows, doors, balconies, and landscaping are placed to reduce direct views of adjacent properties.
- d) Buildings shall be scaled and orientated to enhance pedestrian access and the visibility of entrances.
- e) Front porches, stoops and architectural features such as awnings are encouraged to highlight the front façade and entry to each building.
- f) Front attached garages and driveways should be minimized. Where present, the width of the driveway and curb cut shall be minimized.
- g) When located adjacent to a low-density residential district, the development shall be screened from adjacent properties through a solid fence with a minimum height of 1.83m (6.0ft).
- h) Connectivity shall be provided between and throughout each site to adjacent pedestrian sidewalks and trails.
- i) Parking areas for non-residential uses shall not be located in any front yard.
- j) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.